

REDEVELOPMENT AUTHORITY OF ALTOONA LAND BANK

1301 12th Street, Suite 400

Altoona, PA 16601

Phone: 814-949-2471 • eluchans@altoonapa.gov

REQUEST FOR PROPOSALS

LOCATION: 1928 Pine Avenue

Altoona, PA 16601

PROJECT: Rehabilitation of Single-Family Home

The Redevelopment Authority of Altoona Land Bank (LB) has acquired the property located at 1928 Pine Avenue, Altoona, PA 16601 through sale. The intent of the Authority is to solicit proposals from developers to rehabilitate and sell as a single-family home. The property is located in a Residential Neighborhood C (RN-C) Zoning District.

MINIMUM BID PRICE:

The LB will except no less than a minimum bid price of \$1.00. The successful bidder will be required to provide written proof of financial ability to rehabilitate the property as described in the following proposal. This proof may consist of verification of funds in a bank account, documentation of a line of credit availability, or bank issued construction loan or bond, or similar.

AVAILABLE USES AND SUBSIDIES:

This property is available for a developer to purchase, rehabilitate and market for re-sale as a single-family home or single family rental. This not only promotes stability and investment in the neighborhood but also encourages a sense of belonging among residents. By prioritizing homeownership, the authority aims to strengthen community ties and enhance the overall quality of life, ensuring that homes are occupied by individuals who are more likely to engage with and contribute to the local environment. This strategic move aligns with broader goals of revitalizing the area while addressing the pressing need for affordable housing solutions.

TERMS AND CONDITIONS:

The LB. has acquired the property through warranty deed. The LB is currently working to clear delinquent taxes on the property. The title will not be transferred until the construction work is substantially complete and delinquent taxes are satisfied. The successful bidder can begin work prior to the title transfer.

The successful bidder will be required to enter into a Developer's Agreement with the LB for the following items:

- a. Terms of the title transfer options as indicated in bidder's proposal
- b. Final inspection to provide verification that proposed project scope is completed and approved by the LB.
- c. Building permits and subsequent inspections will be required for all applicable work.
- d. The property scope of work must be completed within **120 days** of the signed Developer's Agreement.
- e. General Liability Insurance and, if applicable, workers compensation insurance, will be required as part of the executed Developer's Agreement on the property.
- f. Registered contractor license of the City of Altoona.

FOR ADDITIONAL INFORMATION CONTACT:

Eric Luchansky, Director
Community Development Department
Altoona Redevelopment Authority Land Bank
City of Altoona
1301 12th Street, Suite 400
814-949-2471
Eluchans@altoonapa.gov

PROPOSAL INSTRUCTIONS :

1. The property will be open for inspection on Tuesday, **May 5, 2026** from 10:00 AM until 12:00 PM.

2. Proposal packages must be delivered by mail or by hand to the Community Development Department no later than **12:00 PM on Monday, May 25, 2026**. Electronic submissions will be accepted.
3. Must include the signed statement on page 6.
4. All submissions, including attachments, must be on 8 ½” x 11” paper.
5. Respondents must submit **3 copies** of the proposal, including attachments.
6. After a proposal is received and evaluated, the LB. reserves the right to discuss with an applicant, any and all items contained in their proposal, including but not limited to: scope of work, prior experience, financial concerns or clarifications, schedule of work or values, and missing items or work. Upon review and discovery, the applicant will have 5 business days to re-submit any required items needed for a complete proposal. **It is expected that the successful proposal will be selected at the June 19, 2026, RA LB board meeting. Proposals will be held for ninety (90) days.**
7. Evaluation criteria will include, but not be limited to purchase price (if applicable), prior work experience, financial commitment, construction schedule, adherence to scope of work, prior and pending codes violations from bidder within City of Altoona, compliance with the terms of this request for proposals, final occupancy condition related to surrounding neighborhood, and information identified on the attached Certification submitted by the bidder.
8. The LB reserves the right to reject any or all proposals (in all or in part), to waive any technicalities or informalities, to advertise for new proposals, or to proceed with work when its completion is in the best interest of the LB.
9. The successful bidder will be obligated to deposit \$1,000.00 into an escrow account, held by the RA LB, to cover legal counsel fees and costs related to the Developer’s Agreement and other transaction costs. The deposit will be credited upon completion of Developer’s Agreement and will be forfeited if bidder fails to start or complete the project.

Scope of Work

1. All Proposals must contain the following items of work and shall be included in the schedule of values in the subsequent section: Please see the attached **Work Write** up for detailed list.
2. All proposal must follow the provided construction details along with PennDOT RC Standards and specifications from PennDOT Pub 408. All concrete should be PennDOT Class A and sealed with an appropriate cure and seal such as Densicrete. Quantities are as follows: 5" Depth Concrete Monolithic Curb and Sidewalk w/ WWF - 105 SY, 6" Depth Concrete Driveway w/ WWF- 40 SY, Type 1 ADA Ramp w/ WWF & DWS- 1 EA, Concrete Retaining Wall - 14 LF, Trees -3 EA, Full depth Roadway Restoration - 45 SY, and Topsoil & Seeding - 35 SY.

Buyer Specific Proposal:

3. Describe all work that is proposed in detail, including the above items, as part of this submission. (For example: Walls throughout will be demolished to the studs with new drywall and paint applied, kitchen will be demolished with builder grade cabinets to be reinstalled, electrical system is up to date and needs only minor repair, termite, or pest removal, etc.)

4. Describe the number of bedrooms, bathrooms, kitchen, living rooms/den, dining room, etc. that are proposed for the completed renovation. Also, include the number of off-street parking spaces.
5. Provide a detailed cost breakdown of all major items of work. The use of a contingency item shall not exceed 5% of proposed project cost. Describe in detail specific activities with units of measure when appropriate. Below is an example of the format which should be used to satisfy this step. Please include a total of all proposed work. Failure to complete this step will constitute an automatic rejection of your proposal.

EXAMPLE:

Work Description	Material Amount	Installation/Labor Cost \$
First Floor Carpeting	111 square yards	\$
Kitchen Cabinets	1 lump sum	\$
Drywall (primed and painted)	2000 square Feet	\$
Furnace and Ductwork	1 Lump Sum	\$

6. Submit proposed interior floor plans with as much detail to articulate work scope.
7. Submit proposed exterior landscape and sidewalk plans.
8. Provide an estimated detailed construction schedule including when the Developer’s Agreement (sample attached) will be executed and expected work completion date. Please include information on your ability to manage the property (i.e., paying all necessary expenses) until the property is sold and/or occupied.

Prior Experience, Financial Capacity, and References:

1. Provide in detail past jobs you have completed or vocation trade experience that you possess that demonstrates your effectiveness to successfully complete this project.
2. Provide verifiable evidence of your financial capability to complete the proposed rehabilitation, including exact sources of funds. (Examples include but are not limited to verification of funds in a bank account, written proof of irrevocable letter of credit, bond, mortgage, etc. for the project, and/or documentation of line of credit availability.) **(Failure to complete this step will constitute an automatic rejection of your proposal)**
3. Provide at least three professional references that we may contact to verify the above information. If the applicant is an organization/agency or company, please describe your organization in detail.

Proposal submission:

1. Included in your proposal should be
 - Purchase price of \$1 dollar minimum
 - Indicate whether property will remain or become an owner-occupied home or anticipated to be maintained as a rental unit.
 - Buyer Specific Proposal including LB required items
 - Prior experience and financial capacity
 - Provide *120-day* project schedule
 - Professional References – Do not include R.A. board or City of Altoona staff members in this section

STATEMENT OF PROPOSED DEVELOPER:

1. *Upon selection by the LB, I/we agree to enter into a Developer's Agreement (D.A) in form and content satisfactory to the LB Such D.A., among other terms and conditions, shall provide for reinvestment of title to the land and any improvements thereon to LB in case of failure of developer to satisfy any condition in said Contract with LB. (Please note: Developer's Agreements usually are signed within 30 days of LB approval of proposal.)*
2. *I/we agree not to seek any variances from the Altoona City Code of Ordinances without the expressed written permission of the LB.*
3. *I/we understand that after selection of the developer, the LB reserves the right to cancel its relationship with the proposed developer and not issue a LB regardless of the amount of time, money, or energy the proposed developer has expended pursuant to this project.*
4. *I/we have examined the existing conditions at the project site and are fully informed as to the conditions and limitations of the property/project. I/we may not at any time after the execution of the D.A. make any claim against the LB based upon insufficient data or any incorrect assumptions on my/our part. I/we fully understand that the property is being sold "as-is" and "where-is."*
5. *I/we understand that the LB. reserves the right to utilize a multitude of evaluation techniques so that, although the offered price will be a consideration, the selected developer may not necessarily be the "highest bidder."*
6. *I/we agree to pay any and all real estate transfer taxes, reasonable attorney fees, costs of title insurance and recording fees that may be required pursuant to the transfer of this property from the LB to me and/or us.*
7. *I/we certify the following:*
 - 1) *I/we am/are not delinquent in paying real estate taxes on any property located within the City of Altoona or Blair County wherein I have an ownership interest.*
 - 2) *I/we have no outstanding violations of the property maintenance code or other codes regarding properties located within the City of Altoona or Blair County wherein I have an ownership interest.*
 - 3) *I/we have no outstanding municipal utility bills that are more than one year outstanding and owed to the City of Altoona or Blair County.*
 - 4) *If I/we am/are submitting this application on behalf of an entity, I/we make the above certifications on behalf of the entity and all Related Parties.*
 - 5) *To the best of my/our knowledge, all of the information in this application is true, correct, and complete.*
8. *I understand that I will have accepted the type of title delivery as stated in the proposal and are bound to the terms as such. If it is necessary to clear the title, it will be my/our responsibility to seek legal counsel to perform a review of the title and take whatever steps, if any, are necessary.*

CONTACT INFORMATION AND ACCEPTANCE OF STATEMENT OF PROPOSED DEVELOPER

Organization: _____ Phone: _____

Contact Person _____

Address: _____

_____ Email: _____

Developer is a(n) _____ individual, _____ partnership, _____ corporation

I/we have read this Proposal Package and understand the proposal requirements of the LB, and submit this Proposal this _____ day of _____, 2026.

Print

Signature

Title

Print

Signature

Title

LEGAL INFORMATION

APPLICANT NAME(S) (EXACTLY AS IT/THEY SHOULD APPEAR ON THE DEED):

APPLICANT STREET ADDRESS: _____

CITY: _____ STATE: _____ ZIP CODE: _____

MARITAL STATUS: _____ SINGLE _____ MARRIED _____ N/A

OWNERSHIP (REGARDLESS OF MARITAL STATUS):

_____ INDIVIDUAL _____ JOINT _____ OTHER (DESCRIBE): _____

IF APPLICANT IS AN ENTITY, LIST ALL INDIVIDUALS AND ENTITIES THAT HAVE A DIRECT OWNERSHIP, CONTROLLING OR MANAGING INTEREST IN THE ENTITY (E.G., OFFICERS, DIRECTORS, PRINCIPALS, GENERAL AND LIMITED PARTNERS, MANAGING PARTNERS, MEMBERS, MANAGERS, AND STAKEHOLDERS) (COLLECTIVELY “RELATED PARTIES”):

DOES THE APPLICANT HAVE ANY OWNERSHIP INTERESTS IN ANY PROPERTIES LOCATED IN ALTOONA OR ANY OWNERSHIP, CONTROLLING, OR MANAGING INTEREST IN ANY BUSINESS ENTITY THAT OWNS PROPERTY LOCATED IN ALTOONA? _____ YES _____ NO
IF YES, LIST THE PROPERTY(IES) AND/OR ENTITY(IES) BELOW. INCLUDE THE PROPERTY ADDRESS AND ZIP CODE, OWNER/ENTITY NAME:

DO ANY RELATED PARTIES HAVE ANY OWNERSHIP INTEREST IN ANY PROPERTIES LOCATED IN ALTOONA OR ANY OWNERSHIP, CONTROLLING, OR MANAGING INTEREST IN ANY BUSINESS ENTITY THAT OWNS PROPERTY LOCATED IN ALTOONA? _____ YES _____ NO
IF YES, LIST THE PROPERTY(IES) AND/OR ENTITY(IES) BELOW. INCLUDE THE PROPERTY ADDRESS AND ZIP CODE, OWNER/ENTITY NAME:

IF THE APPLICANT IS AN ENTITY, INCLUDE A COPY OF THE CURRENT ORGANIZATIONAL DOCUMENTS. SUCH DOCUMENTS INCLUDE:

- A. ARTICLES OF INCORPORATION, ASSOCIATION, OR ORGANIZATION, INCLUDING AMENDMENTS (STAMPED AS ACCEPTED BY THE STATE)
- B. CERTIFICATE OF LIMITED PARTNERSHIP, INCLUDING ADMENDMENTS (STAMPS AS ACCEPTED BY THE STATE)
- C. LLC AGREEMENT, INCLUDING AMENDMENTS (SIGNED)
- D. PARTNERSHIP AGREEMENT, INCLUDING AMENDMENTS (SIGNED) IF THE APPLICANT IS A NONPROFIT ENTITY, INCLUDE A COPY OF A CURRENT IRS 501(C)(3) LETTER OF DETERMINATION

City of Altoona
Planning and Community Development Office

1301 12th Street
Altoona, PA 16601-3491
Phone: 814-949-2481
Fax: 814-949-0372
email: housing@altoonapa.gov

RESPEC
Work Write-up

Case Number: **RA**

BID TOTAL \$: _____

Property Information:

1928 Pine Avenue
Altoona PA 16601-

Jurisdiction: Blair County

Target Area: Altoona

Census: 0

Owner:

Redevelopment Authority
1301 12th Street, Suite 400
Altoona PA 16601-

Phone: (814)949-2470

Mobile:

BID OPENING DATE 0

CONTRACTOR INFORMATION

Name: _____

Address: _____

Voice: _____

Fax: _____

email: _____

Main Structure

Unit Info:

Single Family

Owner

Phone: Work Phone:

Exterior | Main Structure | Single Family | Exterior**Demolition**

1	0010010001	1 EA.	0	\$ _____
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Demolish and Remove

Demolish specified portion of structure and dispose of work-related debris in code legal dump. THE ENTIRE FRONT PORCH FROM THE ROOF TO THE FOOTERS, THE ENTIRE ROOF SYSTEM AT THE REAR OF THE STRUCTURE TO THE CEMENT FLOOR, THE REAR EXTERIOR STEPS LEADING FROM THE 2ND FLOOR TO THE REAR OF THE STRUCTURE AND THE DECK AND STEPS AT THE SIDE OF STRUCTURE.

Sidewalks

2	0020040001	1 EA.	0	\$ _____
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Sidewalk-Concrete

Remove existing sidewalks. Install necessary forms and uniformly grade the area to receive new sidewalks with compacted shale. Pour 4" thick concrete at 3,000 p.s.i. with wire mesh or fiber strands integrated into the concrete. Score or cut joints constructed at right angles to edge of walk, spaced every 36". Joints to be 1" deep and 1/4" wide. Install 1/2" bituminous expansion joints at intersections with walks or foundation. Width of concrete to match existing. Float and broom finish. Remove all forms, regrade, and spot seed. Repair all affected surfaces. INSTALL NEW WALKS AT THE FRONT AVENUE AND SIDE STREET OF THE PROPERTY AND REPLACE THE EXISTING WALKS LEADING TO THE FRONT AND REAR ENTRANCE WAYS. TO INCLUDE AN ADA RAMP AT THE CORNER OF THE PROPERTY.

Roof

3	0090020001	1 EA.	0	\$ _____
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Roof-7/16" Sheathing with Shingle

Remove existing roofing material and install 7/16" sheathing to the entire structure. Apply ice and water shield at the bottom perimeter of roof and in the valleys. Apply 15 lb. felt paper, and install 30 year guarantee, class "A" fiberglass shingles per manufacturer's specifications. Apply fiberglass impregnated roofing cement to flashing to include all necessary counter flashing. Apply ridge vent and wide drip edge. Color and style selected by the owner. TO INCLUDE THE SHEATHING AND ROOFING TO THE NEWLY FRAMED FRONT AND REAR ROOFS.

4	0030030001	1 EA.	0	\$ _____
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Chimney-Repaint

Cut out mortar joints at least 1/2" of the chimney above the roof line. Remove all loose material with clean water. Repoint using Portland cement mortar. Use mortar within 30 minutes of final mixing. Wet mortar joints before applying mortar. Match color as closely as possible. Provide barricades and drop cloths. Repair all affected surfaces.

Soffit and Fascia

5	0040080001	1 EA.	0	\$ _____
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Install-Soffit, Fascia, & Sill Frames W/ Aluminum

Remove existing and install new solid and perforated vinyl soffit panels over existing soffits and eaves. Cover fascia, window sills, and frames with brake formed aluminum. Make all appropriate bends to ensure seams are weather tight, and caulk all window sill joints. Color choice by owner.

Gutters & Downspouts

6	0090030001	1 EA	0	\$ _____
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Gutters & Downspouts

Replace the existing gutter and downspouts with a complete system of gutters and downspouts with approved 4' enameled aluminum system for the entire structure. Install gutters with aluminum fascia brackets or spikes and ferrels set not more than 24" apart. Attach downspouts with aluminum straps 2 per 10' section. Install and rivet all necessary caps, drop outlets, elbows, etc. Color choice by owner.

Siding

7	0040070001	1 EA.	0	\$ _____
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Vinyl Siding and Insulation

Remove the existing siding and insulation and install new vinyl siding in color and width (\$125.00 per sq.- Siding)

selected by the owner over the entire structure. Cover structure with 3/4" foil faced insulating sheathing board prior to installing new siding. Siding shall be installed in strict accordance with the manufacturer's installation instructions

Painting

8 0100020001 1 EA. 0 \$ _____

Exterior Painting

Remove all loose and flaking paint by scraping and sanding to provide a smooth, tight surface for repainting. Prime all bare areas with primer. Apply two coats of exterior latex paint to all wood surfaces not covered by aluminum or vinyl. Porch floor to receive two coats of latex floor and deck paint. Replace all rotted or unsound wood prior to painting. Color choice by owner.

Total for: Exterior \$ _____

Exterior | Main Structure | Single Family | Garage**Roof**

9	0090020001	1 EA.	0	\$
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Roof-7/16" Sheathing with Shingle

Remove existing roofing material and install 7/16" sheathing to the entire garage. Apply ice and water shield at the bottom perimeter of roof. Apply 15 lb. felt paper, and install 30 year guarantee, class "A" fiberglass shingles per manufacturer's specifications. Apply fiberglass impregnated roofing cement to flashing to include all necessary counter flashing. Apply ridge vent and wide drip edge. Color and style selected by the owner.

Soffit and Fascia

10	0040080001	1 EA.	0	\$
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Install-Soffit, Fascia, & Sill Frames W/ Aluminum

Install solid and perforated vinyl soffit panels over existing soffits and eaves. Cover fascia, window sills, and frames with brake formed aluminum. Make all appropriate bends to ensure seams are weather tight, and caulk all window sill joints. Color choice by owner. TO INCLUDE THE REPLACEMENT OF ANY DETERIORATED WOOD.

Gutters & Downspouts

11	0090030001	1 EA	0	\$
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Gutters & Downspouts

Install a complete system of gutters and downspouts with approved 4' enameled aluminum system for the Garage. Install gutters with aluminum fascia brackets or spikes and ferrels set not more than 24" apart. Attach downspouts with aluminum straps 2 per 10' section. Install and rivet all necessary caps, drop outlets, elbows, etc. Color choice by owner.

Siding

12	0040070001	1 EA.	0	\$
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Vinyl Siding and Insulation

Install vinyl siding in color and width (\$125.00 per sq.- Siding) selected by the owner over the gable ends of the Garage. Siding shall be installed in strict accordance with the manufacturer's installation instructions using special moldings, attachment devices, etc.

Painting

13	0100020001	1 EA.	0	\$
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Exterior Painting

Remove all loose and flaking paint by scraping and sanding to provide a smooth, tight surface for repainting. Prime all bare areas with oil-based primer. Apply two coats of exterior latex paint to all wood surfaces not covered by aluminum or vinyl. Porch floor to receive two coats of latex floor and deck paint. Replace all rotted or unsound wood prior to painting. Color choice by owner. TO INCLUDE THE EXTERIOR OF THE BLOCK WALLS OF THE GARAGE.

Door

14	0040050006	1 EA.	0	\$
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Door-Exterior Pre-Hung Metal

Replace the existing entrance door with a metal pre-hung insulated door (\$325.00 allowance) complete with frame, sill, threshold, weatherstripping, and hardware. Install necessary extension jambs to exterior of door, and reinstall brick mold. Tuck spaces around door with fiberglass insulation. Patch interior and exterior to create a neat appearance. Paint trim with two coats of latex paint to match existing. Color choice by owner. Repair all affected surfaces.

Windows

15	0040060001	2 EA.	0	\$
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Windows-Vinyl Replacement

Replace the existing windows with vinyl thermo pane replacement windows (.31 "U" factor or better/ Energy Star Rating) styled to match previous. Replace all defective framing members. Windows shall be installed level and plumb, and in strict accordance with the manufacturer's installation instructions. Include half screen and trim. Repair all affected surfaces.

Electrical

16	0120040008	1 EA.	0	\$ _____
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Exterior Light with Switch Install

Install an exterior single bulb fixture (\$30.00 allowance). Include a wall mounted switch with cover plate. Switch to be mounted at the strike side of the door. Fish wire and repair all affected surfaces.

17	0120040002	1 EA.	0	\$ _____
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Light Fixture and Switch

Install a ceiling mounted, UL-approved, 2 bulb light fixture (\$40.00 allowance). Light shall be controlled by a switch with a cover plate. Switch shall be located at the strike side of the door. Fish wire and repair all affected surfaces.

18	0120030001	4 EA.	0	\$ _____
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Receptacle-Install

Install a duplex receptacle with cover plate. Fish wire and repair all affected surfaces.

Total for: Garage				\$ _____
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Exterior | Main Structure | Single Family | Front Porch**Foundation w/ Footers**

19	0030010002	2 EA.	0	\$ _____
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Block Wall Foundation

Construct two 8" x 16" x 8" thick, non-reinforced square cement block pilasters with trowel cut joints and 1/2" thick exterior parging. To include new footers to carry the new deck and roof system. Repair all affected surfaces.

Porch

20	0040090011	1 EA.	0	\$ _____
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Frame Porch Floor

Using all pressure treated material frame a new porch floor. Install 2" x 10" joist, crown up, level and set 16" on center with bridging. New framing shall be securely fastened to the existing structure. To include a 2" x 8" sill plate with a vapor barrier set on top of the foundation wall. Install pine tongue and groove flooring to the new joist. Prime new flooring prior to installation. Finish color shall be selected by the owner. Repair all affected surfaces.

21	0040090010	1 EA.	0	\$ _____
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Frame Porch Roof

Frame a new roof over the porch with 2" x 6" rafters set 16" on center with double 2" x 8" laminated beam and 5/8" plywood sheathing. To include 2" x 4" ceiling joist for new vinyl ceiling. Repair all affected surfaces.

22	0040090009	1 EA.	0	\$ _____
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Vinyl Porch Ceiling - Install

Install vinyl soffit ceiling, include all channels and matching aluminum nails. Owner to select solid or perforated panels and color. Repair all affected surfaces. To include the wrapping of the beams.

23	0040010007	3 EA.	0	\$ _____
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Post-6" x 6"

Install a 6" x 6" pressure treated post on a 2" x 8" x 8" pressure treated plinth block. Repair all affected surfaces.

24	0040040006	1 EA.	0	\$ _____
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Exterior Steps Installed

Using pressure treated material construct new step with 2" x 12" stringers and double 2" x 6" treads. Steps and rise shall be uniformly constructed. Install 2" x 4" top and bottom beveled handrails with 4" x 4" end posts and 2" x 2" balusters set 4" on center, 32" above tread nosing on each side of the steps. Stringer to rest on a solid concrete footer. Repair all affected surfaces. Minimum width of steps to be 36". TO INLCUDE MATCHING RAILING SYSTEM TO THE NEW PORCH.

Electrical

25	0120040008	1 EA.	0	\$ _____
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Exterior Light with Switch Install

Install an exterior single bulb fixture (\$30.00 allowance). Include a wall mounted switch with cover plate. Switch to be mounted at the strike side of the door. Fish wire and repair all affected surfaces.

Total for: Front Porch				\$ _____
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Exterior | Main Structure | Single Family | Rear Porch**Concrete Pad**

26	0020030001	1 EA.	0	\$ _____
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Concrete Slab-4"

Remove existing concrete pad at the rear of the structure. Install forms and uniformly grade area to receive new pad with compacted shale. Pour a 4" thick concrete slab with wire mesh. Include a 6 mil vapor barrier, float and broom finish. Repair all affected surfaces.

Roof

27	0040010008	1 1 EA.	0	\$ _____
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Frame Roof

Frame a gable style roof with 2" x 8"rafters set 16" O. C. To include all show rafters and fascia boards needed.

Posts

28	0040010007	5 EA.	0	\$ _____
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Post-6" x 6"

Install 6" x 6" pressure treated posts on a galvanized fastening systems firmly attached to the cement floor.. Install a laminated 2" x 10" beam to carry the new roof system. Repair all affected surfaces.

Soffit and Fascia

29	0040080001	1 EA.	0	\$ _____
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Install-Soffit, Fascia, Beam W/ Aluminum

Install solid and perforated vinyl soffit panels over the new roof. Cover fascia and new beam with brake formed aluminum. Make all appropriate bends to ensure seams are weather tight, and caulk all window sill joints. Color choice by owner.

Electrical

30	0120040008	1 EA.	0	\$ _____
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Exterior Light with Switch Install

Install an exterior single bulb fixture (\$30.00 allowance). Include a wall mounted switch with cover plate. Switch to be mounted at the strike side of the door. Fish wire and repair all affected surfaces.

31	0120030009	1 EA.	0	\$ _____
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Receptacle-Waterproof

Install a 20 AMP ground fault interrupt circuit to a flush-mounted, weatherproof PVC or non-ferrous box and receptacle with a weatherproof cover plate. Fish new wire if necessary and repair all affected surfaces.

Total for: Rear Porch	\$ _____
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Total for: Exterior	\$ _____
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Interior | Main Structure | Single Family | General Interior

Smoke Detectors

32	0260260001	1 EA	0		\$ _____
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Smoke/Carbon Monoxide Detectors Battery

Install UL-approved, battery powered Smoke Detectors and combination Carbon Monoxide detectors where required by City Code (\$15.00 allowance per smoke detector)(\$25.00 allowance per Carbon Monoxide detector) Install smoke detectors in the basement, one on the first floor, one inside of each bedroom, one in the hallway next to the CO detector and one on the third floor. Install Carbon Monoxide Detectors in the basement, on the 2nd Floor in the vicinity of the bedrooms and also near any fossil fuel-burning heaters, appliances or fireplaces. Detectors shall be installed in strict accordance with the manufacture's installation instructions. Owner shall be provided with instructions. Repair all affected surfaces.

Total for: General Interior \$ _____

Interior | Main Structure | Single Family | Entryway**Demolition**

33	0010010001	1 EA.	0	\$ _____
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Demolish and Remove

Demolish specified portion of structure and dispose of work-related debris in code legal dump. THE WALL AT THE STAIRWELL. EVERYTHING NEED TO OPEN UP THE STAIRWELL.

Drywall

34	0060010001	1 EA.	0	\$ _____
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Install 1/2" Drywall

Install 1/2" drywall on the walls, ceiling and interior of the closet, tape and three-coat finish ready to paint. Glue each framing member and screw or nail 8" on center. Apply one coat of latex primer and two coats of interior latex paint to the drywall. Color shall be selected by the owner. TO INCLUDE INSULATION ON THE OPEN EXTERIOR WALLS PRIOR TO DRYWALL.

Flooring

35	0050060001	1 EA.	0	\$ _____
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Install Laminate Flooring

Install a laminate floor with a foam sheet underlayment. Flooring shall be installed as per manufacturer's installation instructions. Repair all affected surfaces.

Doors

36	0040050006	1 EA.	0	\$ _____
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Door-Exterior Pre-Hung Metal

Replace the existing entrance door with a metal pre-hung insulated door (\$325.00 allowance) complete with frame, sill, threshold, weatherstripping, and hardware. Install necessary extension jambs to exterior of door, and reinstall brick mold. Tuck spaces around door with fiberglass insulation. Patch interior and exterior to create a neat appearance. Paint trim with two coats of latex paint to match existing. Color choice by owner. Repair all affected surfaces.

37	0040050007	1 EA.	0	\$ _____
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Storm Door-Solid Core Vinyl

Install a one-piece, solid core, seamless vinyl storm door (\$350.00 allowance). Include an expander sweep, weatherstripping, heavy duty closer and wind chain, tempered glass with a screen, and all necessary hardware. Repair all affected surfaces. Choice of color and style by owner.

Electrical

38	0120040002	1 EA.	0	\$ _____
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Light Fixture and Switch

Install a ceiling mounted, UL-approved, 2 bulb light fixture (\$40.00 allowance). Light shall be controlled by a switch with a cover plate. Switch shall be located at the strike side of the door. Fish wire and repair all affected surfaces.

Total for: Entryway \$ _____

Interior | Main Structure | Single Family | Living Room, Front**Demolition**

39	0010010001	1 EA.	0	\$ _____
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Demolish and Remove

Demolish specified portion of structure and dispose of work-related debris in code legal dump. THE EXISTING FIRE PLACE AND WALL LEADING TO THE DINNING ROOM. REPAIR ALL AFFECTED SURFACES.

Drywall

40	0060010001	1 EA.	0	\$ _____
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Install 1/2" Drywall

Install 1/2" drywall ceiling, tape and three-coat finish ready to paint. Glue each framing member and screw or nail 8" on center. Apply one coat of latex primer and two coats of interior latex paint to the drywall. Color shall be selected by the owner.

Painting

41	0100010001	1 EA.	0	\$ _____
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Patch and Paint Interior

Patch and paint the walls. All defective areas which exceed one foot in diameter shall be replaced with drywall. Repair all defective areas with a three-coat finish. Spot prime all affected areas, apply one coat of latex primer and two coats of interior latex paint, to include all woodwork. Color shall be selected by the owner.

Flooring

42	0050060001	1 EA.	0	\$ _____
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Install Laminate Flooring

Install a laminate floor with a foam sheet underlayment. Flooring shall be installed as per manufacturer's installation instructions. Repair all affected surfaces.

Windows

43	0040060001	5 EA.	0	\$ _____
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Windows-Vinyl Replacement

Replace the existing windows with vinyl thermo pane replacement windows (.31 "U" factor or better/ Energy Star Rating) styled to match previous. Replace all defective framing members. Windows shall be installed level and plumb, and in strict accordance with the manufacturer's installation instructions. Include half screen and trim. Repair all affected surfaces.

Electrical

44	0120040002	1 EA.	0	\$ _____
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Light Fixture and Switch

Install a ceiling mounted, UL-approved, 2 bulb light fixture (\$40.00 allowance). Light shall be controlled by a switch with a cover plate. Switch shall be located at the strike side of the door. Fish wire and repair all affected surfaces.

45	0120030002	3 EA.	0	\$ _____
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Receptacle-Replace

Replace defective receptacles with duplex receptacles and cover plates. Fish wire and repair all affected surfaces.

Total for: Living Room, Front				\$ _____
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Interior | Main Structure | Single Family | Dining Room Center**Demolition**

46	0010010001	1 EA.	0	\$	_____
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Demolish and Remove

Demolish specified portion of structure and dispose of work-related debris in code legal dump. THE CLOSET LEADING TO THE LIVING ROOM AND A PORTION OF THE WALL LEADING TO THE KITCHEN TO PROVIDE A 36" OPENING LEADING TO THE KITCHEN.

Painting

47	0100010001	1 EA.	0	\$	_____
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Patch and Paint Interior

Finish the existing drywall and patch and paint the walls, ceiling and interior of the closet. All defective areas which exceed one foot in diameter shall be replaced with drywall. Repair all defective areas with a three-coat finish. Spot prime all affected areas, apply one coat of latex primer and two coats of interior latex paint, to include all woodwork. Color shall be selected by the owner.

Flooring

48	0050060001	1 EA.	0	\$	_____
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Install Laminate Flooring

Install a laminate floor with a foam sheet underlayment. Flooring shall be installed as per manufacturer's installation instructions. Repair all affected surfaces.

Trim

49	0040020001	1 EA.	0	\$	_____
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Trim-Install

Install new baseboard, door trim, and window trim in the entire room with new base and casing. Apply the appropriate filler to all nail holes. Repair all affected surfaces. Finish and style shall be selected by owner.

Doors

50	0040050001	1 EA.	0	\$	_____
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Refinish Pocket Doors

Refinish the existing pocket doors leading to the Living Room. Repair all affected surfaces.

Windows

51	0040060001	2 EA.	0	\$	_____
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Windows-Vinyl Replacement

Replace the existing windows with vinyl thermo pane replacement windows (.31 "U" factor or better/ Energy Star Rating) styled to match previous. Replace all defective framing members. Windows shall be installed level and plumb, and in strict accordance with the manufacturer's installation instructions. Include half screen and trim. Repair all affected surfaces.

Electrical

52	0120040002	1 EA.	0	\$	_____
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Light Fixture and Switch

Install a ceiling mounted, UL-approved, 2 bulb light fixture (\$40.00 allowance). Light shall be controlled by a switch with a cover plate. Switch shall be located at the strike side of the door. Fish wire and repair all affected surfaces.

53	0120030002	3 EA.	0	\$	_____
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Receptacles-Replace

Replace defective receptacles with duplex receptacles and cover plates. Fish wire and repair all affected surfaces.

Total for: Dining Room Center				\$	_____
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Interior | Main Structure | Single Family | Bathroom 1st Floor**Drywall**

54	0060010006	1 EA.	0	\$ _____
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Laminate Moisture Resistant Drywall

Install 1/2" moisture-resistant drywall over the walls and ceiling with 2 1/2" screws or drywall nails 8" on center. Tape and three-coat finish ready to paint. Remove molding and reinstall with extension jambs. Apply one coat of latex primer and two coats of interior latex paint to drywall, and two coats to the woodwork. Color shall be selected by the owner.

Flooring

55	0050020001	1 EA.	0	\$ _____
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Floor & Vinyl Cover-Complete

Replace existing floor covering with a new vinyl floor (\$27.00 allowance per sq. yd.). Install floor as per manufacturer's specifications to include recommended underlayment. All underlayment seams shall be filled and sanded. Install 4" vinyl base molding with preformed corners. Color and pattern shall be selected by owner.

Window

56	0040060001	1 EA.	0	\$ _____
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Window-Vinyl Replacement

Replace the existing window with a vinyl thermo pane replacement window (.31 "U" factor or better/ Energy Star Rating) styled to match previous. Replace all defective framing members. Window shall be installed level and plumb, and in strict accordance with the manufacturer's installation instructions. Include half screen and trim. Repair all affected surfaces.

Door

57	0040050001	1 EA.	0	\$ _____
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Replace Interior Door on Existing Jamb

Replace the existing door with a 1 3/8" door to be installed on the existing jamb. To include all necessary hardware and a passage lock set. Style and finish to be selected by the owner. Repair all affected surfaces.

Plumbing

58	0130040001	1 EA.	0	\$ _____
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Commode-Replace

Replace existing commode with a new commode (\$200.00 allowance). Include a seat, chromed supply pipe, shut-off valve, and wax seal. Commode to be selected by owner.

59	0130040005	1 EA.	0	\$ _____
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Vanity-Bathroom

Install a wood vanity cabinet and sink top with a water saving faucet (\$375.00 allowance). Include supply lines, shut-off valves, pop-up drain, complete drain system, and all necessary hardware. Vanity to be selected by owner.

60	0130040010	1 EA.	0	\$ _____
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Tub/Shower Fiberglass

Replace the existing tub with a new fiberglass tub and shower unit (\$600.00 allowance) complete with lever operated, pop-up drain/overflow, PVC waste, and shut-off valves. Install a single lever, scald proof, tub/shower faucet with diverter spout and showerhead (\$145.00 allowance). Include a shower rod. Tub and faucet shall be selected by owner. Repair all affected surfaces.

Electrical

61	0120030004	1 EA.	0	\$ _____
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Receptacle-GFI Install

Install a ground fault interrupt duplex receptacle with a cover plate. Fish wire and repair all affected surfaces.

62	0120040012	1 EA.	0	\$ _____
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Medicine Cabinet & Light

Install a medicine cabinet with mirror and light (\$150.00 allowance). Light shall be controlled with a wall switch located at the strike side of the door. Fish wire and repair all affected surfaces.

63	0120040014	1 EA.	0	\$ _____
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Bathroom Exhaust Vent With Light

Install a ceiling-mounted fixture containing a single-bulb light and an exhaust fan (\$110.00 allowance). Include duct work vented to the exterior of structure, damper assembly, separate circuit, and two switches with gang plate located at strike side of door. Fish wire and repair all affected surfaces.

Total for: Bathroom 1st Floor \$ _____

Interior | Main Structure | Single Family | Kitchen Rear**Drywall**

64	0060010001	1 EA.	0	\$ _____
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Install 1/2" Drywall

Install 1/2" drywall on the walls, ceiling and interior of the closet, tape and three-coat finish ready to paint. Glue each framing member and screw or nail 8" on center. Apply one coat of latex primer and two coats of interior latex paint to the drywall. Color shall be selected by the owner. TO INCLUDE BLOCKING FOR CABINETS AND INSULATION TO THE EXTERIOR WALL.

Flooring

65	0050020001	1 EA.	0	\$ _____
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Floor & Vinyl Cover-Complete

Replace existing floor covering with a new vinyl floor (\$27.00 allowance per sq. yd.). Install floor as per manufacturer's specifications to include recommended underlayment. All underlayment seams shall be filled and sanded. Install 4" vinyl base molding with preformed corners. Color and pattern shall be selected by owner.

Windows

66	0040060002	2 EA.	0	\$ _____
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Window-Removal.

Dispose of the existing window unit, stud-in opening, and fill all cavities with kraft-faced fiberglass batt insulation. Install 1/2" drywall on the interior of the framing, tape and 3 coat finish ready to paint. Apply sheathing over exterior of framing. Repair all affected surfaces. WINDOWS AT THE SIDE OF THE STRUCTURE.

67	0040060001	2 EA.	0	\$ _____
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Windows-Vinyl Replacement

Replace the existing windows with vinyl thermo pane replacement windows (.31 "U" factor or better/ Energy Star Rating) styled to match previous. Replace all defective framing members. Windows shall be installed level and plumb, and in strict accordance with the manufacturer's installation instructions. Include half screen and trim. Repair all affected surfaces. WINDOWS TO BE LOCATED AT THE REAR OF STRUCTURE. TO INCLUDE FRAMING.

Doors

68	0040050006	1 EA.	0	\$ _____
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Door-Exterior Pre-Hung Metal

Replace the existing entrance door with a metal pre-hung insulated door (\$325.00 allowance) complete with frame, sill, threshold, weatherstripping, and hardware. Install necessary extension jambs to exterior of door, and reinstall brick mold. Tuck spaces around door with fiberglass insulation. Patch interior and exterior to create a neat appearance. Paint trim with two coats of latex paint to match existing. Color choice by owner. Repair all affected surfaces.

69	0040050007	1 EA.	0	\$ _____
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Storm Door-Solid Core Vinyl

Replace the existing door with a one-piece, solid core, seamless vinyl storm door (\$350.00 allowance). Include an expander sweep, weatherstripping, heavy duty closer and wind chain, tempered glass with a screen, and all necessary hardware. Repair all affected surfaces. Choice of color and style by owner.

Cabinets & Top

70	0040030001	1 EA.	0	\$ _____
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Cabinets-Wood Base & Wall

Install base cabinets, wall cabinets and post-formed countertop (\$550.00 per ft. price allowance) price allowance is determined by the length of base cabinets only. Cabinets shall be installed level and plumb, and securely fastened to wall studs with screws. Sink cut out to accommodate specified sink dimensions and location. Include all trim. All dimensions must receive field verification. Repair all affected surfaces.

Plumbing

71	0130040021	1 EA.	0	\$ _____
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Kitchen Sink-Double Bowl Complete

Replace the existing sink with a double bowl, self-rimming kitchen sink including water saver faucet (\$275.00 allowance). Include a complete drain system, supply lines, and stop valves. Sink to be selected by owner.

Electrical

72 **0120040002** 1 EA. 0 \$ _____

Light Fixture and Switch

Install a ceiling mounted, UL-approved, 2 bulb light fixture (\$40.00 allowance). Light shall be controlled by a switch with a cover plate. Switch shall be located at the strike side of the door. Fish wire and repair all affected surfaces.

73 **0120040013** 1 EA. 0 \$ _____

Range Hood Exterior Vented

Install an exterior ducted range hood with a light (\$145.00 allowance). To include a vent and damper assembly. Fish wire and repair all affected surfaces. Style and color shall be selected by the owner.

74 **0120030001** 5 EA. 0 \$ _____

Receptacles-Install

Install duplex receptacles with cover plates. Fish wire and repair all affected surfaces. ONE TO SERVICE REFRIGERATOR, CABINET OUTLET TO POSSIBLEY SERVICE OVERHEAD MICROWAVE, CABINET OUT LET TO SERVICE POSSIBLE GARBAGE DISPOSAL AND TWO FLOOR OUTLETS.

75 **0120030004** 3 EA. 0 \$ _____

Receptacle-GFI Install

Install a ground fault interrupt duplex receptacle with a cover plate. Fish wire and repair all affected surfaces. AT THE COUNTER TOP AREA.

Total for: Kitchen Rear \$ _____

Interior | Main Structure | Single Family | Stairway and Hallway**Drywall**

76	0060010002	1 EA.	0	\$	_____
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Laminate 1/2" Drywall

Install 1/2" drywall over the ceiling with 2 1/2" screws or drywall nails, 8" on center. Tape and three-coat finish ready to paint. Remove molding and reinstall with extension jambs. Apply one coat of interior latex primer and two coats of interior latex paint to drywall, and two coats to the woodwork. Color shall be selected by the owner.

Painting

77	0100010001	0 EA.	0	\$	_____
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Patch and Paint Interior

Patch and paint the walls. All defective areas which exceed one foot in diameter shall be replaced with drywall. Repair all defective areas with a three-coat finish. Spot prime all affected areas, apply one coat of latex primer and two coats of interior latex paint, to include all woodwork. Color shall be selected by the owner.

Flooring

78	0050070005	1 EA.	0	\$	_____
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Refinish Stairs and Railing System

Remove the existing flooring. Refinish the existing flooring and repair any affected surfaces. Clean and tack cloth prior to applying new finish. Apply sealer to the new finish as required. TO INCLUDE VINYL TREAD COVERS ONCE COMPLETED.

79	0050060001	1 EA.	0	\$	_____
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Install Laminate Flooring

Install a laminate floor with a foam sheet underlayment. Flooring shall be installed as per manufacturer's installation instructions. Repair all affected surfaces. THE HALLWAY ONLY.

Door

80	0040050004	1 EA.	0	\$	_____
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Door Opening-Enclose

Dispose of the existing door and jamb and stud-in opening. Install 1/2" drywall on both sides of the framing, tape and 3 coat finish ready to paint. TO INCLUDE INSULATION.

Electrical

81	0120040010	1 EA.	0	\$	_____
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Light Fixture with 3-Way Switches Stairs

Install a ceiling mounted UL-approved, 2-bulb light fixture (\$40.00 allowance). Light shall be controlled by a pair of 3-way switches with cover plates. Switches shall be located at the top and bottom of the stairway. Fish wire and repair all affected surfaces.

82	0120030001	1 EA.	0	\$	_____
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Wiring Custom

Rewire exposed wiring. Fish wire and repair all affected surfaces.

Mechanical

83	0140020001	1 1 EA	0	\$	_____
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Heat Duct and Register

Remove exposed heat run and install a properly sized low velocity heat duct and register from the existing heat system. Repair all affected surfaces.

Total for: Stairway and Hallway				\$	_____
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Interior | Main Structure | Single Family | Bedroom #1**Painting**

84	0100010001	1 EA.	0	\$ _____
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Patch and Paint Interior

Patch and paint the walls, ceiling and interior of the closet. All defective areas which exceed one foot in diameter shall be replaced with drywall. Repair all defective areas with a three-coat finish. Spot prime all affected areas, apply one coat of latex primer and two coats of interior latex paint, to include all woodwork. Color shall be selected by the owner.

Flooring

85	0050010003	1 EA.	0	\$ _____
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Install Carpet-Room

Install FHA-approved carpet and padding (\$28.00 allowance per sq. yd.) with a minimum amount of seams. Stretch carpet to eliminate puckers, scallops, and ripples. Include tack strips, metal edge strips, and mending tape to cover entire room. Color and pile shall be selected by owner.

Windows

86	0040060001	4 EA.	0	\$ _____
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Windows-Vinyl Replacement

Replace the existing windows with vinyl thermo pane replacement windows (.31 "U" factor or better/ Energy Star Rating) styled to match previous. Replace all defective framing members. Windows shall be installed level and plumb, and in strict accordance with the manufacturer's installation instructions. Include half screen and trim. Repair all affected surfaces.

Door

87	0040050002	1 EA.	0	\$ _____
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Door-Pre-Hung Passage

Replace the existing door and frame (\$125.00 allowance) with a 1 3/8" pre-hung door and casing. To include all hardware and passage lock set. Style and finish shall be selected by owner. Repair all affected surfaces.

Electrical

88	0120040002	1 EA.	0	\$ _____
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Light Fixture and Switch

Install a ceiling mounted, UL-approved, 2 bulb light fixture (\$40.00 allowance). Light shall be controlled by a switch with a cover plate. Switch shall be located at the strike side of the door. Fish wire and repair all affected surfaces.

89	0120030003	3 EA.	0	\$ _____
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Receptacles-Install Bedroom

Install duplex receptacles with cover plates. Receptacles to be controlled by arc fault breakers in the breaker panel. Fish wire and repair all affected surfaces.

Total for: Bedroom #1				\$ _____
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Interior | Main Structure | Single Family | Bedroom #2**Drywall**

90	0060010002	1 EA.	0	\$ _____
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Laminate 1/2" Drywall

Install 1/2" drywall over the walls, ceiling and interior of the closet with 2 1/2" screws or drywall nails, 8" on center. Tape and three-coat finish ready to paint. Remove molding and reinstall with extension jambs. Apply one coat of interior latex primer and two coats of interior latex paint to drywall, and two coats to the woodwork. Color shall be selected by the owner.

Flooring

91	0050010003	1 EA.	0	\$ _____
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Install Carpet-Room

Install FHA-approved carpet and padding (\$28.00 allowance per sq. yd.) with a minimum amount of seams. Stretch carpet to eliminate puckers, scallops, and ripples. Include tack strips, metal edge strips, and mending tape to cover entire room. Color and pile shall be selected by owner.

Windows

92	0040060001	5 EA.	0	\$ _____
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Windows-Vinyl Replacement

Replace the existing windows with vinyl thermo pane replacement windows (.31 "U" factor or better/ Energy Star Rating) styled to match previous. Replace all defective framing members. Windows shall be installed level and plumb, and in strict accordance with the manufacturer's installation instructions. Include half screen and trim. Repair all affected surfaces.

Doors

93	0040050002	2 EA.	0	\$ _____
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Doors-Pre-Hung Passage

Replace the existing doors and frames (\$125.00 allowance) with 1 3/8" pre-hung doors and casing. To include all hardware and passage lock sets. Style and finish shall be selected by owner. Repair all affected surfaces.

Electrical

94	0120040002	1 EA.	0	\$ _____
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Light Fixture and Switch

Install a ceiling mounted, UL-approved, 2 bulb light fixture (\$40.00 allowance). Light shall be controlled by a switch with a cover plate. Switch shall be located at the strike side of the door. Fish wire and repair all affected surfaces.

95	0120030003	3 EA.	0	\$ _____
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Receptacles-Install Bedroom

Install duplex receptacles with cover plates. Receptacles to be controlled by arc fault breakers in the breaker panel. Fish wire and repair all affected surfaces.

Total for: Bedroom #2				\$ _____
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Interior | Main Structure | Single Family | Bathroom 2nd Floor**Drywall**

96	0060010006	1 EA.	0	\$
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Laminate Moisture Resistant Drywall

Install 1/2" moisture-resistant drywall over the walls and ceiling with 2 1/2" screws or drywall nails 8" on center. Tape and three-coat finish ready to paint. Remove molding and reinstall with extension jamb. Apply one coat of latex primer and two coats of interior latex paint to drywall, and two coats to the woodwork. Color shall be selected by the owner.

Flooring

97	0050020001	1 EA.	0	\$
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Floor & Vinyl Cover-Complete

Replace existing floor covering with a new vinyl floor (\$27.00 allowance per sq. yd.). Install floor as per manufacturer's specifications to include recommended underlayment. All underlayment seams shall be filled and sanded. Install 4" vinyl base molding with preformed corners. Color and pattern shall be selected by owner.

Window

98	0040060001	1 EA.	0	\$
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Window-Vinyl Replacement

Replace the existing window with a vinyl thermo pane replacement window (.31 "U" factor or better/ Energy Star Rating) styled to match previous. Replace all defective framing members. Window shall be installed level and plumb, and in strict accordance with the manufacturer's installation instructions. Include half screen and trim. Repair all affected surfaces.

Door

99	0040050002	1 EA.	0	\$
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Door-Pre-Hung Passage

Replace the existing door and frame (\$125.00 allowance) with a 1 3/8" pre-hung door and casing. To include all hardware and passage lock set. Style and finish shall be selected by owner. Repair all affected surfaces.

Plumbing

100	0130040001	1 EA.	0	\$
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Commode-Replace

Replace existing commode with a new commode (\$200.00 allowance). Include a seat, chromed supply pipe, shut-off valve, and wax seal. Commode to be selected by owner.

101	0130040005	1 EA.	0	\$
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Vanity-Bathroom

Install a wood vanity cabinet and sink top with a water saving faucet (\$375.00 allowance). Include supply lines, shut-off valves, pop-up drain, complete drain system, and all necessary hardware. Vanity to be selected by owner.

102	0130040010	1 EA.	0	\$
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Tub/Shower Fiberglass

Replace the existing tub with a new fiberglass tub and shower unit (\$600.00 allowance) complete with lever operated, pop-up drain/overflow, PVC waste, and shut-off valves. Install a single lever, scald proof, tub/shower faucet with diverter spout and showerhead (\$145.00 allowance). Include a shower rod. Tub and faucet shall be selected by owner. Repair all affected surfaces.

Electrical

103	0120040012	1 EA.	0	\$
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Medicine Cabinet & Light

Install a medicine cabinet with mirror and light (\$150.00 allowance). Light shall be controlled with a wall switch located at the strike side of the door. Fish wire and repair all affected surfaces.

104	0120040014	1 EA.	0	\$
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Bathroom Exhaust Vent With Light

Install a ceiling-mounted fixture containing a single-bulb light and an exhaust fan (\$110.00 allowance). Include duct

work vented to the exterior of structure, damper assembly, separate circuit, and two switches with gang plate located

105 **0120030004** 1 EA. 0 \$ _____

Receptacle-GFI Install

Install a ground fault interrupt duplex receptacle with a cover plate. Fish wire and repair all affected surfaces.

Total for: Bathroom 2nd Floor \$ _____

Interior | Main Structure | Single Family | Bedroom #3**Drywall**

106	0060010002	1 EA.	0	\$	_____
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Laminate 1/2" Drywall

Install 1/2" drywall over the walls, ceiling and interior of the closet with 2 1/2" screws or drywall nails, 8" on center. Tape and three-coat finish ready to paint. Remove molding and reinstall with extension jambs. Apply one coat of interior latex primer and two coats of interior latex paint to drywall, and two coats to the woodwork. Color shall be selected by the owner.

Flooring

107	0050010003	1 EA.	0	\$	_____
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Install Carpet-Room

Install FHA-approved carpet and padding (\$28.00 allowance per sq. yd.) with a minimum amount of seams. Stretch carpet to eliminate puckers, scallops, and ripples. Include tack strips, metal edge strips, and mending tape to cover entire room. Color and pile shall be selected by owner.

Windows

108	0040060001	2 EA.	0	\$	_____
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Windows-Vinyl Replacement

Replace the existing windows with vinyl thermo pane replacement windows (.31 "U" factor or better/ Energy Star Rating) styled to match previous. Replace all defective framing members. Windows shall be installed level and plumb, and in strict accordance with the manufacturer's installation instructions. Include half screen and trim. Repair all affected surfaces.

Doors

109	0040050002	2 EA.	0	\$	_____
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Doors-Pre-Hung Passage

Replace the existing doors and frames (\$125.00 allowance) with 1 3/8" pre-hung doors and casing. To include all hardware and passage lock sets. Style and finish shall be selected by owner. Repair all affected surfaces.

110	0040050004	1 EA.	0	\$	_____
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Door Opening-Enclose

Dispose of the existing door and jamb and stud-in opening. Install 1/2" drywall on both sides of the framing, tape and 3 coat finish ready to paint. TO INCLUDE INSULATION.

Electrical

111	0120040002	1 EA.	0	\$	_____
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Light Fixture and Switch

Install a ceiling mounted, UL-approved, 2 bulb light fixture (\$40.00 allowance). Light shall be controlled by a switch with a cover plate. Switch shall be located at the strike side of the door. Fish wire and repair all affected surfaces.

112	0120030003	3 EA.	0	\$	_____
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Receptacles-Install Bedroom

Install duplex receptacles with cover plates. Receptacles to be controlled by arc fault breakers in the breaker panel. Fish wire and repair all affected surfaces.

Total for: Bedroom #3				\$	_____
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Interior | Main Structure | Single Family | Bedroom #4**Drywall**

113	0060010002	1 EA.	0	\$ _____
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Laminate 1/2" Drywall

Install 1/2" drywall over the walls, ceiling and interior of the closet with 2 1/2" screws or drywall nails, 8" on center. Tape and three-coat finish ready to paint. Remove molding and reinstall with extension jambs. Apply one coat of interior latex primer and two coats of interior latex paint to drywall, and two coats to the woodwork. Color shall be selected by the owner.

Flooring

114	0050010003	1 EA.	0	\$ _____
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Install Carpet-Room

Install FHA-approved carpet and padding (\$28.00 allowance per sq. yd.) with a minimum amount of seams. Stretch carpet to eliminate puckers, scallops, and ripples. Include tack strips, metal edge strips, and mending tape to cover entire room. Color and pile shall be selected by owner.

Windows

115	0040060001	2 EA.	0	\$ _____
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Windows-Vinyl Replacement

Replace the existing windows with vinyl thermo pane replacement windows (.31 "U" factor or better/ Energy Star Rating) styled to match previous. Replace all defective framing members. Windows shall be installed level and plumb, and in strict accordance with the manufacturer's installation instructions. Include half screen and trim. Repair all affected surfaces.

Doors

116	0040050002	2 EA.	0	\$ _____
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Door-Pre-Hung Passage

Replace the existing doors and frames (\$125.00 allowance) with 1 3/8" pre-hung doors and casing. To include all hardware and passage lock sets. Style and finish shall be selected by owner. Repair all affected surfaces.

Electrical

117	0120040002	1 EA.	0	\$ _____
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Light Fixture and Switch

Install a ceiling mounted, UL-approved, 2 bulb light fixture (\$40.00 allowance). Light shall be controlled by a switch with a cover plate. Switch shall be located at the strike side of the door. Fish wire and repair all affected surfaces.

118	0120030003	3 EA.	0	\$ _____
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Receptacles-Install Bedroom

Install duplex receptacles with cover plates. Receptacles to be controlled by arc fault breakers in the breaker panel. Fish wire and repair all affected surfaces.

Total for: Bedroom #4				\$ _____
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Interior | Main Structure | Single Family | Attic 3rd Floor**Drywall**

119	0060010002	1 EA.	0	\$
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Laminate 1/2" Drywall

Install 1/2" drywall over the walls, ceiling and interior of the closet with 2 1/2" screws or drywall nails, 8" on center. Tape and three-coat finish ready to paint. Remove molding and reinstall with extension jambs. Apply one coat of interior latex primer and two coats of interior latex paint to drywall, and two coats to the woodwork. Color shall be selected by the owner. TO INCLUDE NEW 1/2 WALL.

Flooring

120	0050010001	1 EA.	0	\$
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Replace Carpet-Stairway

Replace existing floor covering with FHA-approved carpet and padding (\$28.00 allowance per sq. yd.) with a minimum amount of seams. Stretch carpet to eliminate puckers, scallops, and ripples. Include tack strips, metal edge strips, and mending tape to cover entire stairway. Fasten carpet and pad at top and bottom of each riser. Color and pile shall be selected by owner.

121	0050010004	1 EA.	0	\$
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Replace Carpet-Room

Replace existing floor covering with FHA-approved carpet and padding (\$28.00 allowance per sq. yd.) with a minimum amount of seams. Stretch carpet to eliminate puckers, scallops, and ripples. Include tack strips, metal edge strips, and mending tape to cover entire floor. Color and pile shall be selected by owner. ENTIRE ATTIC.

Framing

122	0040010002	1 EA.	0	\$
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Partition-2" x 4" Non-Bearing

Frame a half wall wall using 2" x 4" studs, 16" on center, with single top and bottom plates. TO PROTECT THE OPEN STAIRWELL TO INCLUDE FINISH CAP.

Handrail

123	0040040001	1 EA.	0	\$
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Handrail Wood-Install

Install a 2" rounded white pine handrail to cover stairway. Handrail braces shall be securely fastened to existing construction, all hardware to be included. Handrail shall be sanded smooth and finish shall be selected by owner. Repair all affected surfaces.

Windows

124	0040060001	7 EA.	0	\$
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Windows-Vinyl Replacement

Replace the existing windows with vinyl thermo pane replacement windows (.31 "U" factor or better/ Energy Star Rating) styled to match previous. Replace all defective framing members. Windows shall be installed level and plumb, and in strict accordance with the manufacturer's installation instructions. Include half screen and trim. Repair all affected surfaces.

Electrical

125	0120040002	3 EA.	0	\$
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Light Fixtures and Switches

Install ceiling mounted, UL-approved, 2 bulb light fixtures (\$40.00 allowance). Each light shall be controlled by a switch with a cover plate. Switches shall be located at the strike side of the doors. Fish wire and repair all affected surfaces.

126	0120040010	1 EA.	0	\$
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Light Fixture with 3-Way Switches Stairs

Install a ceiling mounted UL-approved, 2-bulb light fixture (\$40.00 allowance). Light shall be controlled by a pair of 3-way switches with cover plates. Switches shall be located at the top and bottom of the stairway. Fish wire and repair all affected surfaces.

127	0120030003	10 EA.	0	\$ _____
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Receptacles-Install Bedroom

Install duplex receptacles with cover plates. Receptacles to be controlled by arc fault breakers in the breaker panel. Fish wire and repair all affected surfaces.

Total for: Attic 3rd Floor \$ _____

Interior | Main Structure | Single Family | Basement**Drywall**

128	0060010002	1 EA.	0	\$
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Laminate 1/2" Drywall

Install 1/2" drywall over the walls, ceiling and interior of the closet with 2 1/2" screws or drywall nails, 8" on center. Tape and three-coat finish ready to paint. Remove molding and reinstall with extension jambs. Apply one coat of interior latex primer and two coats of interior latex paint to drywall, and two coats to the woodwork. Color shall be selected by the owner. THE BASEMENT STAIRWELL.

Steps

129	0040040003	1 EA.	0	\$
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Basement Steps Replaced

Dispose of existing steps and handrail. Construct steps using 2" x 12" stringers and 2" x 10" treads. Steps and risers shall be uniformly constructed. Install a 2" x 4" beveled handrail, one side, 32" above tread nosing. Stringers to rest on 2" x 12" pressure treated pine sill. Minimum width of steps to be 36" when the situation allows.

130	0020040002	1 EA.	0	\$
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Steps-Concrete

Repair the existing concrete steps at the Bilco Door area. Repair all affected surfaces. TO INCLUDE A 2" x 4" HANDRAIL TO COVER THE STEPS.

Windows

131	0040060005	3 EA.	0	\$
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Vinyl Basement Windows Replace

Replace the existing basement windows with single light, thermo pane, vinyl basement windows (.30 "U" factor or better). Insulate and caulk perimeter of the frames. Repair all affected surfaces.

Door

132	0040050002	1 EA.	0	\$
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Door-Pre-Hung Passage

Replace the existing door and frame (\$125.00 allowance) with a 1 3/8" pre-hung door and casing. To include all hardware and passage lock set. Style and finish shall be selected by owner. Repair all affected surfaces. LEADING FROM THE KITCHEN.

133	0040050006	1 EA.	0	\$
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Door-Exterior Pre-Hung Metal

Replace the existing entrance door with a metal pre-hung insulated door (\$325.00 allowance) complete with frame, sill, threshold, weatherstripping, and hardware. Install necessary extension jambs to exterior of door, and reinstall brick mold. Tuck spaces around door with fiberglass insulation. Patch interior and exterior to create a neat appearance. Paint trim with two coats of latex paint to match existing. Color choice by owner. Repair all affected surfaces. EXTERIOR ENTRANCE.

134	0040050008	1 EA.	0	\$
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Door-Bilco With Cap

Remove the exterior door leading to the basement. Cut the stairway walls down to an even level with the surrounding surfaces. Cap the walls with 4" of concrete to provide a base for a Bilco door. Install the new Bilco door in strict accordance with the manufacturer's specifications. The portion of concrete cap outside the edges of the door shall be sloped away from the door. Flash door into existing construction. Repair all affected surfaces.

Plumbing

135	0130010002	1 EA.	0	\$
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Water Service-Copper

Excavate below frost line, install 3/4" type "K" copper pipe, and refill trench for water service. Lay line without joints from meter hub to main shut-off valve inside structure. The installation of an expansion tank on the existing hot water tank is required as per City Code plumbing regulations. Repair all affected areas to match adjacent surfaces. Contractor shall seed and mulch affected yard areas.

136	0130010001	1 EA.	0	\$
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Supply-Copper

Replace all galvanized and undersized water lines in the basement beginning at the meter with type "L" rigid copper tubing, complete with full open ball valves. Repair all affected surfaces.

137	0130010005	1 EA.	0	\$ _____
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Washing Machine Hook-Up

Install a 2" PVC drain system with hot and cold hose bibbs to service a washing machine. Repair all affected surfaces.

138	0130030001	1 EA	0	\$ _____
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Dryer Vent Install

Replace the existing dryer vent system with a new vent system, vented to the exterior of structure. To include a draft free damper assembly. Repair all affected surfaces.

139	0130060001	1 EA.	0	\$ _____
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Water Heater-40 Gallon Gas

Replace the existing hot water tank with a 40-gallon, glass-lined, high-recovery, insulated to R-7, gas water heater with a six-year warranty. Include pressure and temperature relief valve with a copper discharge tube, discharge tube to be within 4" of the floor, vent, thimble, expansion tank when required and gas piping from shut-off valve to fixture. Dispose of old water heater in code legal dump. Repair all affected surfaces.

Electrical

140	0120010002	1 EA.	0	\$ _____
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Electric Service-200 AMP

Replace the existing services and panels with a new residential 200 AMP electric service. Include service head, 3-wire service, meter socket, main disconnect, 42 circuit panel board, and grounding system. Replace all exposed knob and tube and defective wiring in the entire structure. Split and label all circuits. Repair all affected surfaces. All service charges shall be the contractor's responsibility. REMOVE TWO INSTALL ONE, TO INCLUDE POWER TO THE GARAGE.

141	0120040002	4 EA.	0	\$ _____
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Light Fixtures and Switch

Install porcelain ceiling mounted, UL-approved, 1 bulb light fixtures (\$15.00 allowance). Lights shall be controlled by a switch with a cover plate. Switch shall be located at the strike side of the door. Fish wire and repair all affected surfaces.

142	0120040008	1 EA.	0	\$ _____
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Exterior Light with Switch Install

Install an exterior single bulb fixture (\$30.00 allowance). Include a wall mounted switch with cover plate. Switch to be mounted at the strike side of the door. Fish wire and repair all affected surfaces. AT THE EXTERIOR ENTRANCE.

Heating & Air Conditionin

143	0140010001	1 EA.	0	\$ _____
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Forced Air Furnace-Gas

Replace the existing Furnace. Field measure and install a properly-sized forced air furnace complete with plenum, properly-sized hot air ducts, and cold air returns where needed. New runs shall be constructed using proper material, and shall also receive new registers. Include thermostat, filters, fan and plenum control. Provide separate power circuit and operating manual. Minimum AFUE rating of 90. Repair all affected surfaces. TO INCLUDE VENT FOR THE NEW HWT.

144	0140040001	1 EA.	0	\$ _____
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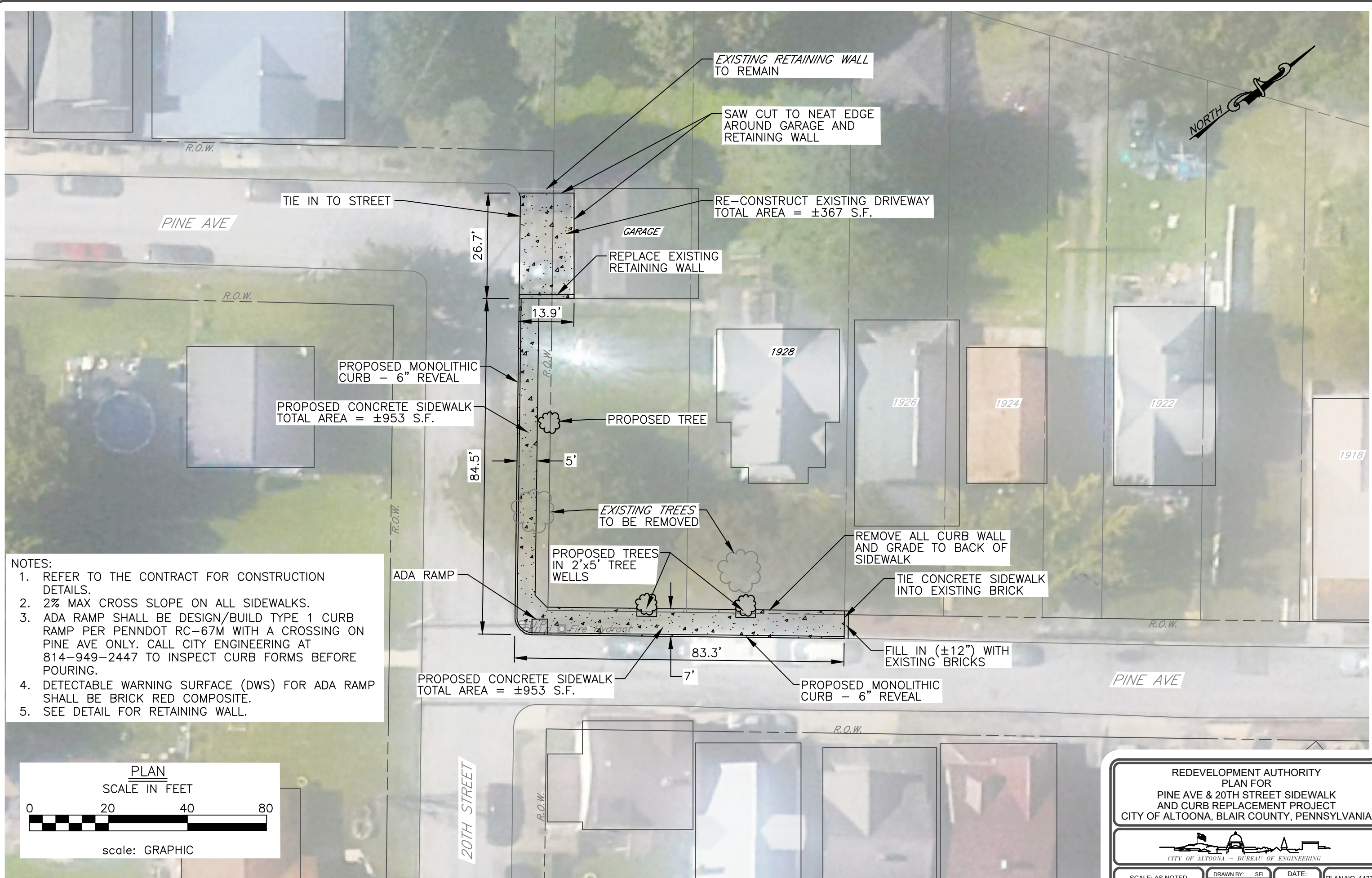
Air Conditioning

Field measure and install a properly-sized air conditioner, new air ducts, and cold air returns where needed. New runs shall be constructed using proper material, and shall also receive new registers. Tie the new air conditioner into the existing furnace unit and thermostat. Provide separate power circuit and operating manual. Repair all affected surfaces.

Total for: Basement	\$ _____
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Total for: Interior	\$ _____
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Job Total Cost: \$ _____



EXISTING RETAINING WALL TO REMAIN

SAW CUT TO NEAT EDGE AROUND GARAGE AND RETAINING WALL

RE-CONSTRUCT EXISTING DRIVEWAY TOTAL AREA = ±367 S.F.

REPLACE EXISTING RETAINING WALL

PROPOSED CONCRETE SIDEWALK TOTAL AREA = ±953 S.F.

PROPOSED TREE

EXISTING TREES TO BE REMOVED

PROPOSED TREES IN 2'x5' TREE WELLS

REMOVE ALL CURB WALL AND GRADE TO BACK OF SIDEWALK

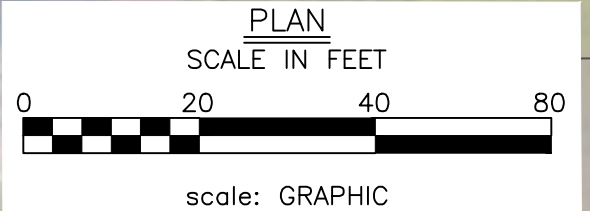
TIE CONCRETE SIDEWALK INTO EXISTING BRICK

FILL IN (±12") WITH EXISTING BRICKS

PROPOSED CONCRETE SIDEWALK TOTAL AREA = ±953 S.F.

PROPOSED MONOLITHIC CURB - 6" REVEAL

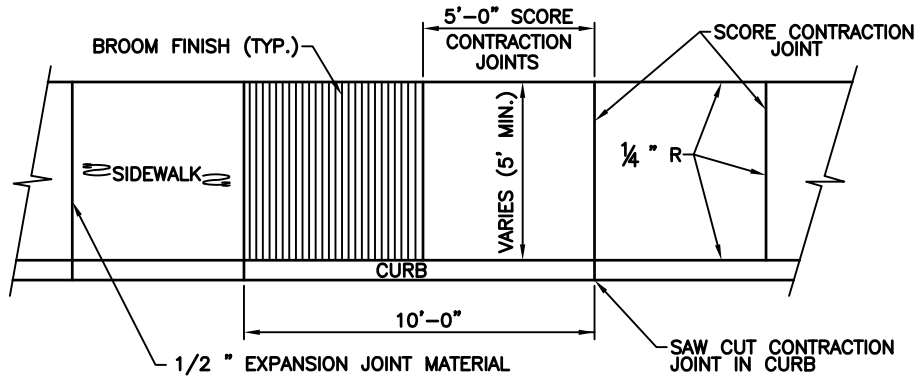
- NOTES:
1. REFER TO THE CONTRACT FOR CONSTRUCTION DETAILS.
 2. 2% MAX CROSS SLOPE ON ALL SIDEWALKS.
 3. ADA RAMP SHALL BE DESIGN/BUILD TYPE 1 CURB RAMP PER PENNDOT RC-67M WITH A CROSSING ON PINE AVE ONLY. CALL CITY ENGINEERING AT 814-949-2447 TO INSPECT CURB FORMS BEFORE POURING.
 4. DETECTABLE WARNING SURFACE (DWS) FOR ADA RAMP SHALL BE BRICK RED COMPOSITE.
 5. SEE DETAIL FOR RETAINING WALL.



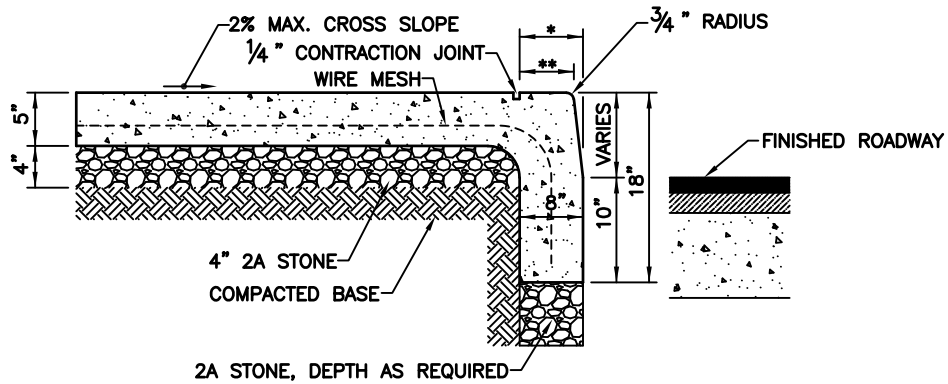
REDEVELOPMENT AUTHORITY
PLAN FOR
PINE AVE & 20TH STREET SIDEWALK
AND CURB REPLACEMENT PROJECT
CITY OF ALTOONA, BLAIR COUNTY, PENNSYLVANIA

CITY OF ALTOONA - BUREAU OF ENGINEERING

SCALE: AS NOTED	DRAWN BY: SEL CHECKED BY: REC	DATE: 23 APR 2026	PLAN NO. 11372
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PLAN



PROFILE

NOTES:

* - 6" TO 8" WIDTH, 6" PREFERRED.

** - 5" TO 7" WIDTH, 5" PREFERRED.

A LONGITUDINAL SCORE CONTRACTION JOINT IS REQUIRED ON SIDEWALKS GREATER THAN 8'-0" IN WIDTH.

SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.

PLACE 1/2" THICK EXPANSION JOINT MATERIAL AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO SIDEWALK AND CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF SIDEWALK AND CURB.

PLACE 1/4" FLEXIBLE EXPANSION JOINT MATERIAL AROUND EXISTING POLES, FIRE HYDRANTS, AND SIMILAR STRUCTURES FOR THE FULL DEPTH OF THE SIDEWALK AND SCORE CONCRETE IN A BLOCK 8" WIDER THAN THE STRUCTURE(S).

CONCRETE SIDEWALKS SHALL BE A MINIMUM OF 5" DEEP AND SHALL CONTAIN 6 X 6- W2.1 X W2.1 WIRE MESH. MESH JOINTS TO BE OVERLAPPED 6" MINIMUM EXCEPT AS NOTED.

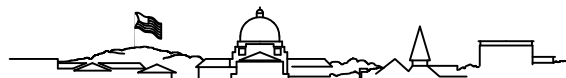
SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2% AND SLOPE TOWARDS THE STREET.

COMPACT SUBGRADE AND 4" 2A SUBBASE TO THE APPROVAL OF THE PROJECT INSPECTOR.

SEAL THE LONGITUDINAL JOINT BETWEEN CURB AND SIDEWALK (WHERE APPLICABLE), ALL CURB JOINTS, AND SIDEWALK EXPANSION JOINTS WITH AN APPROVED SEALING MATERIAL.

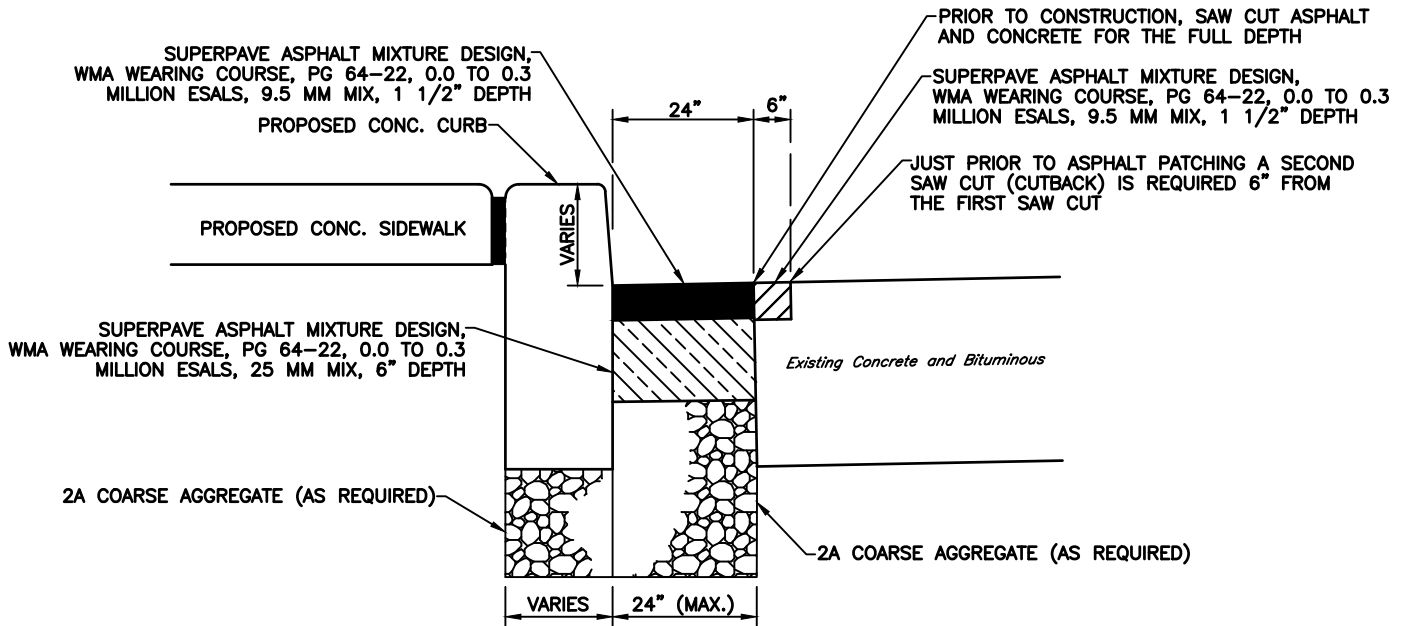
NO. 2A AGGREGATE IS INCIDENTAL TO THE SIDEWALK ITEM.

CONCRETE SIDEWALKS SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), AND THE ADA ACCESSIBILITY GUIDELINES (ADAAG), CURRENT EDITIONS.



CITY OF ALTOONA - DEPARTMENT OF PUBLIC WORKS

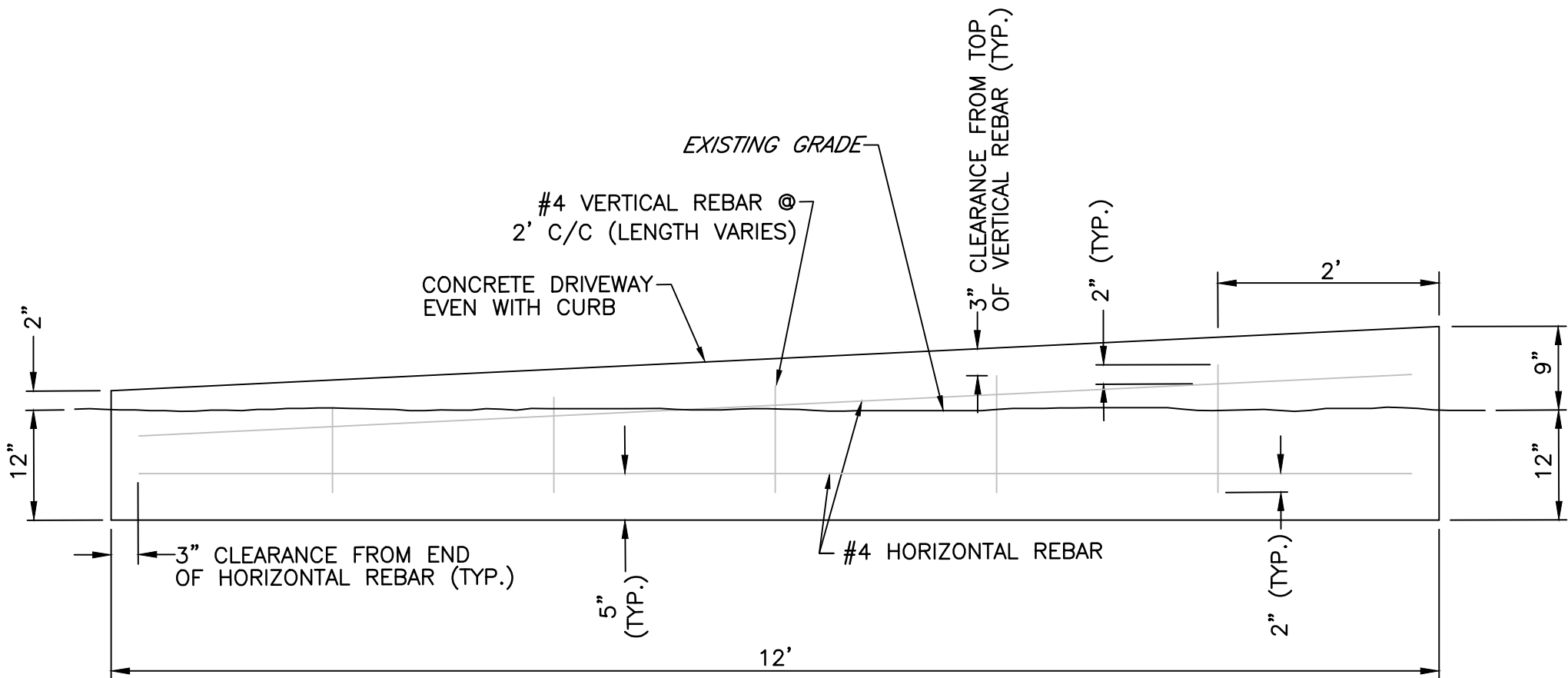
MONOLITHIC CONCRETE CURB & SIDEWALK



NOTES:
 STREET RESTORATION TO BE AS SHOWN ABOVE AND/OR SHALL MATCH EXISTING PAVEMENT DEPTHS IF DIFFERENT THAN SHOWN (WHICHEVER IS GREATER).
 EXPOSED VERTICAL AND HORIZONTAL SURFACES SHALL BE PREPARED AS PER PENNDOT PUBLICATION 408, SECTION 413.3(g).
 AFTER THE SECOND SAWCUT (CUTBACK), TACK THE VERTICAL EDGE OF THE CUT PRIOR TO PATCHING. AFTER PATCHING IS COMPLETE, HOT SEAL ALONG THE CURB AND THE PAVEMENT JOINT WITH A 24" WIDE STRIP OF PG 64-22.



STANDARD ROADWAY RESTORATION DETAIL



NOTE:
 PROVIDE A MINIMUM CLEARANCE OF 3" OF CONCRETE OVER AND AROUND REBAR

RETAINING WALL DETAIL

NO SCALE